

DEVELOPMENT AGREEMENT

THIS AGREEMENT made this day of , A.D., 2026

BETWEEN:

BLOWERS AND GRAFTON DEVELOPMENTS LIMITED

(herein called the "Developers")

OF THE ONE PART

AND

THE MUNICIPALITY OF THE COUNTY OF COLCHESTER, a municipal body corporate, of the Province of Nova Scotia,

(herein called the "County" or "the Municipality")

OF THE OTHER PART

WHEREAS the Developers wish to obtain permission to establish a development consisting of five (5) residential buildings, totalling 260 units within the proposed development located on lands in the Municipality pursuant to the provisions of Policies 4-49, 6-23, 6-24, 6-25, 6-26, and 6-27 of the 2025 Colchester Municipal Planning Strategy;

AND WHEREAS the Developers plan to present a plan to consolidate and then subdivide the Lands into four (4) parcels ("Consolidation and Subdivision Plan");

AND WHEREAS it is a condition of the granting of approval of Council that the Developers enter into an agreement with the Municipality;

AND WHEREAS the Council, at its meeting on the XX day of , 2026, approved the said contract development to permit the establishment of a multi-unit residential development subject to entering into this Agreement;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the granting by the Municipality of the Development Agreement requested by the Developers, the parties hereto agree as follows:

1. The Developers are the registered owners of the land bearing Property Identification Numbers 20068540, 20287702, 20479226, and 20477196, more particularly described in Schedule "A" attached hereto (hereinafter called the "Lands").

2. The permitted uses of the Lands for the duration of this Agreement shall be restricted to those identified expressly in this Agreement.
3. The Schedules attached to this Agreement form part of the Agreement and the Developers shall comply with any and all specifications, plans and requirements contained therein.
4. The Developers shall be responsible for and shall develop and maintain the site in accordance with Schedules "B", "C", "D", and "E" attached hereto and specifically the use of the Lands be restricted to:
 - a) Five (5) residential buildings consisting of:
 - Building 1 – 33 units
 - Building 2a – 86 units
 - Building 2b – 64 units
 - Building 3 – 33 units
 - Building 4 – 44 units

Totalling – 260 units;
 - b) Notwithstanding Section 4(a), the number of units permitted per building may be varied provided:
 - the total number of units for the development remains at 260 units or less
 - Parking is provided and maintained at a ratio of one (1) space/unit for each building
 - The stories per building as outlined on Schedule B(i) shall not be increased
 - All development of structures shall be in accordance with the Building Code Act, Fire Safety Act, the Building Code By-law and any other legislation, regulation or by-laws that applies to the project
 - c) An amenity/meeting space in each building or on the rooftop of each building shall not exceed 186 square metres (2000 square feet) per building, excluding floor area for mechanical equipment or circulation
 - d) Accessory uses
5. The Developers shall construct the development in accordance with the attached Schedules, or revised versions thereof that are approved by the Municipality:

Schedule "B(i)" - Concept Plan showing the location of roads, adjacent properties, the area of land subject to this Agreement, driveways and parking areas, the location of all buildings, open space and landscaping features.

Schedule "B(ii)" - Landscaping Plan showing the general location of the trails, community garden, soft landscaping, and hard landscaping. In accordance with Section 9(c), a detailed landscape plan is

required prior to issuance of a development permit.

Schedule "B(iii)" - Preliminary Easement Plan outlining the general location of required easements, scope/purpose of easements, and identification of the parcel(s) that is/are burdened and benefitted. In accordance with Section 9(d) all required easements will be registered at the time of subdivision.

Schedule "B(iv)" - Preliminary Consolidation and Subdivision Plan generally illustrating the boundaries for the four parcels. In accordance with Section 9(e) a final Consolidation and Subdivision Plan shall be submitted for approval and registration

Schedule "C" - Engineering drawings (storm-water management, sanitary and water)

Schedule "D" - Floor Plans and Elevations of the Buildings

6. It is and remains the Developers' obligation to ensure the development and construction meet all regulatory requirements and should it become apparent that any of the schedules require revisions they will immediately inform the Municipality, which shall assess whether the revisions are consistent with the Development Agreement
7. If, in the reasonable opinion of the Development Officer, substantial construction of at least one (1) building in the Development has not commenced within 3 years of the execution of this Agreement, the Development Officer may bring a motion to terminate the Agreement at a meeting of Municipal Council. For purposes of this paragraph, site preparation work alone shall not normally constitute commencement of substantial construction, but the establishment of roads or sewer services or foundation work shall constitute commencement of substantial construction.
8. If construction of the Development is not substantially completed, in the reasonable opinion of the Development Officer, with the site work and buildings completed in ten (10) years of the date of execution, the Municipality may: (a) extend this Agreement; (b) negotiate a new Agreement; (c) terminate the Agreement; or (d) require the Developer, at the Developers' expense, to remove structures or partial structures from the Lands, and to grade the Lands to a reasonable standard of safety, hygiene, and aesthetic appearance and discharge this Agreement.
- 9 (a) Except as expressly authorized by the provisions of this Agreement, the Development shall comply with the provisions of the Municipality of Colchester Land Use Bylaw and Subdivision Bylaw. Notwithstanding anything contained in this Agreement, the Development shall comply with the Building Code Act, Fire Safety Act, the Building Code By-law and any other legislation, regulation or by-laws that applies to the project.
 - (b) (i) Further to Schedule D, the floor plans shall be high-level with amendments being permitted as detailed building designs are finalized

(ii) Further to Schedule D, no balconies shall be permitted adjacent (facing) to Hillcrest Avenue.

(ii) Notwithstanding Section 5, the arrangement of windows, balconies, rooflines, and exterior features as shown on Schedule D may be altered to accommodate the interior layout of the building and exterior materials may be altered provided the arrangement is consistent with the general architectural intent of the schedule

- (c) Prior to the issuance of a development permit, a detailed landscaping plan in respect of the parcel upon which the applicable building is located, shall be submitted for approval by the Development Officer. This plan shall delineate all landscaping features such as a combination of trees, shrubs, flowers, grass, or other horticultural elements, decorative stonework, paving stones, screening or other architectural elements, all of which are designed to enhance the visual amenity of the Lands and to provide screening from adjacent property owners. This plan shall be prepared and certified by a professional landscape architect in good standing with the Canadian Society of Landscape Architects.

(i) Further to Schedule B (ii), the landscaping plan shall delineate fencing along the eastern property boundary (adjacent to Hillcrest Avenue). The fence shall be opaque with a height of 2.0 metres (6.6 feet).

- (d) In recognition of the intended Consolidation and Subdivision Plan, the Developers commit that they will prepare and register within the Land Registry the easement documents to implement the easements as generally illustrated on Preliminary Easement Plan, Schedule B (iii), or any revised version approved by the Municipality. The Preliminary Easement Plan, or any revised version approved by the Municipality, shall be registered with any plan of subdivision providing for the subdivision of the Lands.

- (e) Prior to the issuance of a development permit, a final Consolidation and Subdivision Plan shall be submitted to the Development Officer for approval and registration. The Consolidation and Subdivision Plan shall meet the requirements as outlined in the Municipal Subdivision Bylaw, excepting the lot frontage requirements. Notwithstanding the requirements of Section 16.5.1 of the Municipal Land Use Bylaw, the minimum frontage of 12.2 metres shall be maintained for proposed Lot 4 as shown on Schedule B(iv)

- (f) A Location Certificate, as prepared by a Nova Scotia Land Surveyor, must be submitted and approved by the Development Officer at the finished foundation stage for each building to ensure that setbacks have been met.

- (g) Prior to the issuance of a development permit, the following detailed drawings must be submitted for review and approval by the Municipal Engineer or their designate:

- (i) Detailed Stormwater Design – Schedule C provides for a volume that is currently at a preliminary level of design, the Detailed Stormwater Design shall be updated to show the final detention storage volume, based on the review of upstream as-built information from NSDPW. The final design must continue to demonstrate pre and post development balancing of stormwater run-off
- (ii) Detailed Servicing Plan

- (h) At the conclusion of construction and prior to obtaining an occupancy permit for the first building, the following documents must be submitted for review and approval by the Municipal Engineer or their designate:
 - (i) Written confirmation from the developer's engineer that the stormwater features and grading has been installed as designed;
 - (ii) Results of onsite manhole pressure testing overseen by the developer's engineer in accordance with section 33 39 00, item 3.7 of the Standard Specification for Municipal Services; and
 - (iii) Results of onsite low pressure sewer pipe testing overseen by the developer's engineer in accordance with section 33 31 00, item 3.6 of the Standard Specification for Municipal Services
- (i) It is the Developers' responsibility to meet all standards and specifications required by the Town of Truro Water Utility to ensure that there is an adequate water supply, including sufficient capacity and pressure for fire suppression.
- 10. Upon necessary compliance and upon expiration of the fourteen (14) day appeal period under Section 249 of the *Municipal Government Act*, SNS 1998, c.18, as amended, or upon the withdrawal or dismissal of any appeal which may be taken, the County shall issue the necessary permits for the development.
- 11. Subject to Section 21, all material alterations including any physical product or assembly used to form, cover, protect, finish or weatherproof the outside of the building including roofing, siding, flashing, soffits, fascia, sealants, trim and exterior doors and windows or modifications to structures on the Lands and any modifications to landscaping shown on the attached Schedules shall be subject to the issuance of a Development Permit whether the alterations or modifications are structural or not and whether or not an amendment to this agreement is required.
- 12. Amendments on substantial matters do not take effect until the conclusion of the process stipulated for such amendments under the *Municipal Government Act*. Any amendment, whether substantial or otherwise, must be approved by both parties in writing.
- 13. The Developers agree to complete the phased construction of all roads, sidewalks, storm water systems, sanitary sewers, utilities, driveways / parking areas prior to the occupancy of the residential buildings, as applicable.
- 14. (a) Within 3 years of the date of execution of this Agreement, and 45 days before commencing any work on such items the Developers shall submit to the Development Officer detailed engineering drawings and plans showing (where applicable):
 - (i) comprehensive sidewalk and roadway design;
 - (ii) comprehensive design of street-lighting services; and
 - (iii) identification of location and type of other electricity services.

- (b) Upon receipt of the above plans, the Development Officer shall have 45 days in which to determine whether the plans conform with the requirements contained in the Schedules attached to this Agreement and whether they are approved by the Municipal Engineer, the Provincial Department of Public Works, the Department of the Environment and Climate Change and any other technical or regulatory authority whose opinion is sought by the Development Officer in connection with conformance with the Schedules hereto, and with any applicable laws, by-laws, regulations or policies of the Municipality or the Province. Unless, within 45 days of receipt of the plans, the Development Officer advises the Developers that the plans do not meet with the approval of a technical or regulatory authority, the Municipality will issue permits within its control or jurisdiction, and the Developers may proceed with construction pursuant to such plans and pursuant to the terms of any permits. In the event the plans are not approved, the Developers may resubmit fresh plans within 30 days.
15. No development of the Lands shall take place until approval by the Development Officer of the technical plans referred to in Paragraph 14 of this Agreement, and the issuance of any necessary permits, as applicable.
16. The Developers recognize that they shall maintain the Development and every portion thereof, including preventative maintenance and repair, the same standards to which it was originally constructed or required to be constructed.
17. The Developers shall maintain in all respects, including the keeping in good repair and keeping free of snow, any driveways and walkways required to be constructed. The Developers recognize that the Municipality will not take ownership of the driveway, sidewalks or any other infrastructure within the Development.
18. Except as specifically identified in this Agreement, all off site Development costs directly related to the Development shall be the responsibility of the Developers. Without limiting the generality of the foregoing, such costs include the costs of road construction or alteration, sidewalk construction, and the cost of connecting to trunk water, sanitary and storm water systems.
19. The Developers shall arrange to have garbage, compost and recyclables removed from the Development, by private contract, at least once every second week for the duration of this Agreement and any such waste stored outside shall be contained within an enclosure approved by the Development Officer.
20. For greater certainty, the Developers may install any type of non-illuminated sign provided for under Part 10 of the Colchester Land Use Bylaw subject to respective size requirements contained therein.
21. For greater certainty, items that are agreed not to be substantial for the purposes of Section 227 of the *Municipal Government Act* shall include but not be limited to the following:
- a) a reduction in the number of dwelling units;
 - b) adjustments to the location of driveways and associated services to accomplish

suitable grades or alignments recommended by the Director of Public Works for the Municipality or the provincial Department of Public Works (NSPW).
Changes to the overall intent of the site design shall be considered substantial;

- c) any additional parking spaces in the parking areas indicated on the attached Schedules, the location and design of which shall be subject to the approval of the Development Officer;
 - d) interior changes to the floor plans for the building; and
 - e) minor changes including aesthetic or dimensional refinements to the exterior of the building including adjustments to cladding profile/colour, trim details, railing style, balcony detailing. Minor changes do not include alterations to the building height, footprint, massing, structural components or life safety systems
 - f) extension to the time period for commencement of substantial construction for a maximum of 3 additional years beyond the period specified in Section 7, if a written request is submitted to the development officer no later than 60 days the final date for commencement of substantial construction and an extension has not been granted previously
22. The Developers may provide exterior lighting for driveways, parking areas or structures which shall be shielded and directed downward to ensure there is no light spilling, glare or light cast over neighbouring properties or the street. Any lighting is subject to the approval of the Development Officer. Any pole lights shall be located a minimum of 8 meters (26.2 ft.) from any property line.
23. In addition to any other remedies provided by law, including those authorized by the *Municipal Government Act*, the Municipality may terminate the Agreement in the event of breach by the Developers of any of its terms.
24. Upon termination or discharge of this Agreement in accordance with the *Municipal Government Act*, the Colchester Land Use By-law shall apply to the Property and the Developers acknowledge that except to the extent of express provisions in this Agreement for the continuation of a non-conforming use after the termination or discharge of this agreement, structures on the Property and uses on the Property shall be required to conform to the Colchester Land Use By-law in effect at the time of the termination or discharge of the Agreement.
25. It is agreed that the provisions of this Development Agreement are severable from one another and that the invalidity of one provision shall not prejudice the validity or enforcement of any other provision.
26. The Developers shall at all times indemnify and save harmless the Municipality from and against all claims demands, loss, costs, damages, actions, suits or other proceedings by whomever made, sustained, or brought or prosecuted to the extent that the foregoing are based upon, occasioned by or attributable to any acts or occasions resulting from negligence by the Developers or their servant(s) or their agent(s) or employee(s) in the fulfilment of any of its obligations under this Agreement. The Developers hereby release the Municipality and in the absence of bad faith waives their right to claim against it for

any loss or damages in connection with the Development, or with the negotiation, administration, or implementation of this Agreement, unless such loss or damage is caused by the negligence or breach of duty of the Municipality or its servants or agents.

27. The Developers agree to pay for the cost of registering this Development Agreement with the Registry of Deeds.
28. The Developers acknowledge that they have been advised to review the contents of this Agreement with their own professional advisors and has had the opportunity to do so. The Developers acknowledge that they have not relied on the advice of the Municipality, its officers, servants, or agents, or if they have done so, they accept, as their own, the risk of such reliance.
29. This Agreement shall be binding upon the parties hereto and their respective heirs, successors and assigns and shall run with the property that is the subject of this Agreement and shall bind any successors in title.

DRAFT

IN WITNESS THEREOF the parties hereto have properly executed These Presents the day and year first above written.

SIGNED SEALED & DELIVERED
in the presence of:

Witness
(Please print name above Signature)

Blowers and Grafton Developments Limited

THE MUNICIPALITY OF THE
COUNTY OF COLCHESTER

Witness
(Please print name above Signature)

PER: _____

Mayor Christine Blair

Witness
(Please print name above signature)

PER: _____

Dan Troke
Chief Administrative Officer

Schedules

Schedule "A"	Subject Lands
Schedule "B (i)"	Concept Plan
Schedule "B (ii)"	Landscaping Plan
Schedule "B (iii)"	Preliminary Easement Plan
Schedule "B (iv)"	Preliminary Subdivision Plan
Schedule "C"	Engineering Drawings
Schedule "D"	Floor Plans and Building Elevations

Schedule A

PID 20287702 – 114 Vimy Road

Parcel Description Registration County: COLCHESTER COUNTY

Street/Place Name: 114 VIMY ROAD /BIBLE HILL

Title of Plan: PLAN OF SUBDIVISION SHOWING LOT 15-S3A AND PARCEL D LANDS OF JAMES W. STONEHOUSE AND LOT 15-S4A LANDS OF JOSEPH M STONEHOUSE & WENDY M STONEHOUSE AND SUBSEQUENTLY LOT 16-S34A BEING THE CONSOLIDATION OF LOT 15-S3A LANDS OF JAMES W STONEHOUSE AND LOT 15-S4A AND LOT 16-S2D BEING THE CONSOLIDATION OF LOT 15-S2 LANDS OF RUTH M STONEHOUSE AND PARCEL D VIMY ROAD, BIBLE HILL Designation of Parcel on Plan: LOT 15-S4 (PORTION OF)

Registration Number of Plan: 109458001 Registration Date of Plan: 2016-08-22 14:39:52 ***
Municipal Government Act, Part IX Compliance ***

Compliance:

The parcel is created by a subdivision (details below) that has been filed under the Registry Act or registered under the Land Registration Act

Registration District: COLCHESTER COUNTY

Registration Year: 2016

Plan or Document Number: 109458001

PID – 20068540 – 104 Vimy Road

Registration County: COLCHESTER COUNTY

Street/Place Name: 104 VIMY ROAD /BIBLE HILL

Title of Plan: LOTS 08-S1 AND 08-S2S, S/D LANDS OF MERLE AVARD STONEHOUSE & MARIE DEWAR STONEHOUSE, VIMY RD., BIBLE HILL

Designation of Parcel on Plan: LOT 08-S2S

Registration Number of Plan: 91215757

Registration Date of Plan: 2008-07-25 11:44:48

Saving and Excepting Parcels A, B, C and Lot 15-S3 as shown on Registered Plan No. 108121006 recorded in the Land Registration Office for Colchester County.

Saving and Excepting Parcel D as shown on Registered Plan No. 109458001 recorded in the Land Registration Office for Colchester County.

*** Municipal Government Act, Part IX Compliance ***

Compliance:

The parcel is created by a subdivision (details below) that has been filed under the Registry Act or registered under the Land Registration Act

Registration District: COLCHESTER COUNTY

Registration Year: 2016

Plan or Document Number: 109458001

The MGA compliance statement has been applied by SNSMR during the processing of Land Registration Plan

PID 20477196 – 104 Vimy Road

Registration County: COLCHESTER COUNTY

Street/Place Name: 104 VIMY ROAD /BIBLE HILL

Title of Plan: PLAN OF SUBDIVISION SHOWING LOT 15-S3A AND PARCEL D LANDS OF JAMES W. STONEHOUSE AND LOT 15-S4A LANDS OF JOSEPH M STONEHOUSE & WENDY M STONEHOUSE AND SUBSEQUENTLY LOT 16-S34A BEING THE CONSOLIDATION OF LOT 15-S3A LANDS OF JAMES W STONEHOUSE AND LOT 15-S4A AND LOT 16-S2D BEING THE CONSOLIDATION OF LOT 15-S2 LANDS OF RUTH M STONEHOUSE AND PARCEL D VIMY ROAD, BIBLE HILL

Designation of Parcel on Plan: LOT 15-S3 (PORTION OF)

Registration Number of Plan: 109458001

Registration Date of Plan: 2016-08-22 14:39:52

*** Municipal Government Act, Part IX Compliance ***

Compliance:

The parcel is created by a subdivision (details below) that has been filed under the Registry Act or registered under the Land Registration Act

Registration District: COLCHESTER COUNTY

Registration Year: 2016

Plan or Document Number: 109458001

PID 20479226 –Vimy Road

Registration County: COLCHESTER COUNTY

Street/Place Name: VIMY ROAD /BIBLE HILL

Title of Plan: PLAN OF SUBDIVISION SHOWING LOT 15-S3A AND PARCEL D LANDS OF JAMES W. STONEHOUSE AND LOT 15-S4A LANDS OF JOSEPH M STONEHOUSE & WENDY M STONEHOUSE AND SUBSEQUENTLY LOT 16-S34A BEING THE CONSOLIDATION OF LOT 15-S3A LANDS OF JAMES W STONEHOUSE AND LOT 15-S4A AND LOT 16-S2D BEING THE CONSOLIDATION OF LOT 15-S2 LANDS OF RUTH M STONEHOUSE AND PARCEL D VIMY ROAD, BIBLE HILL

Designation of Parcel on Plan: LOT 16-S34A

Registration Number of Plan: 109458001

Registration Date of Plan: 2016-08-22 14:39:52

*** Municipal Government Act, Part IX Compliance ***

Compliance:

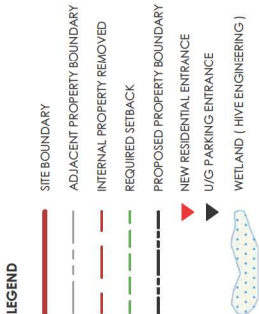
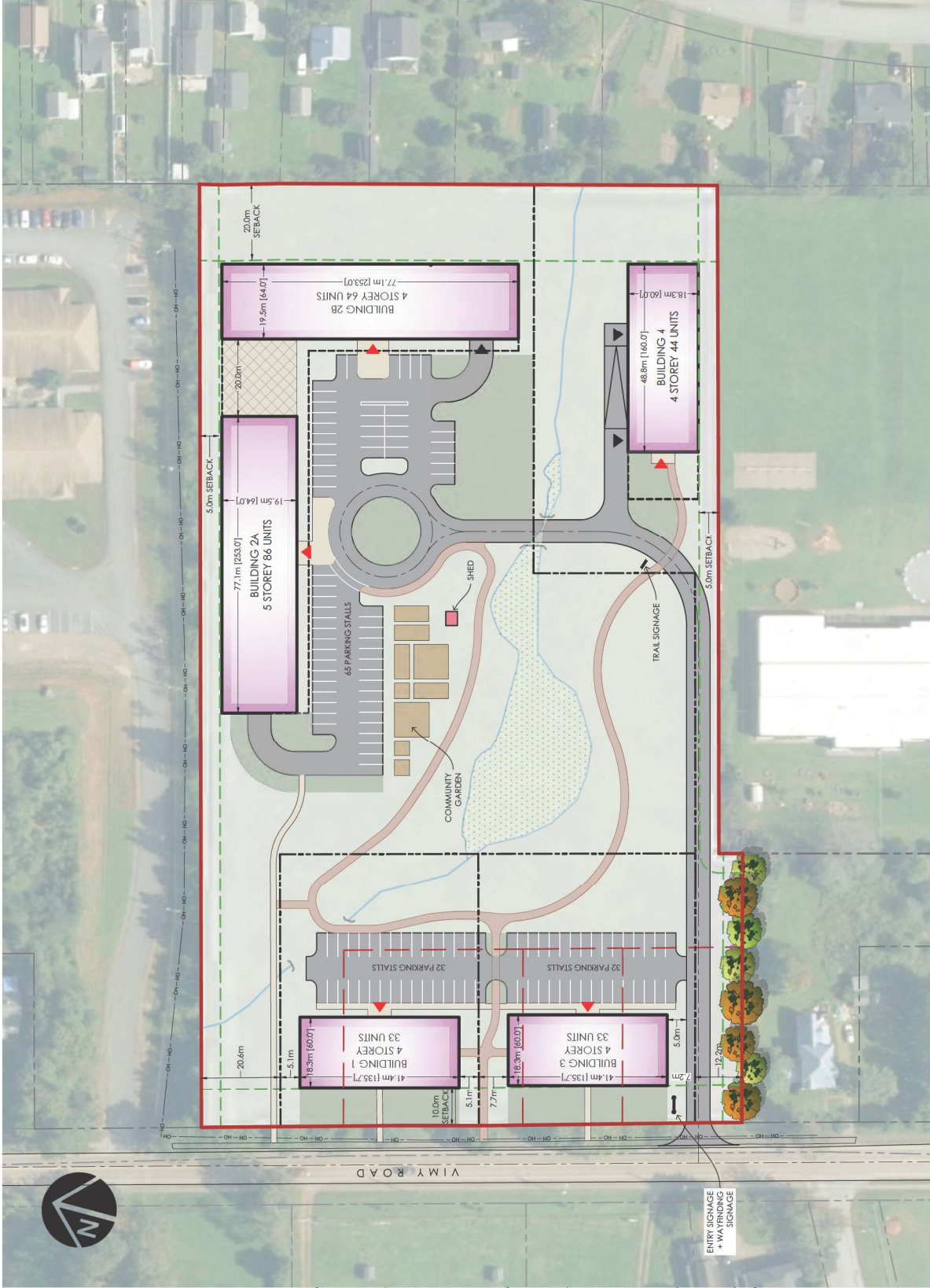
The parcel is created by a subdivision (details below) that has been filed under the Registry Act or registered under the Land Registration Act

Registration District: COLCHESTER COUNTY

Registration Year: 2016

SCHEDULE B(i)

24-068 VIMY ROAD DEVELOPMENT, BIBLE HILL, NS | SITE PLAN



PRELIMINARY

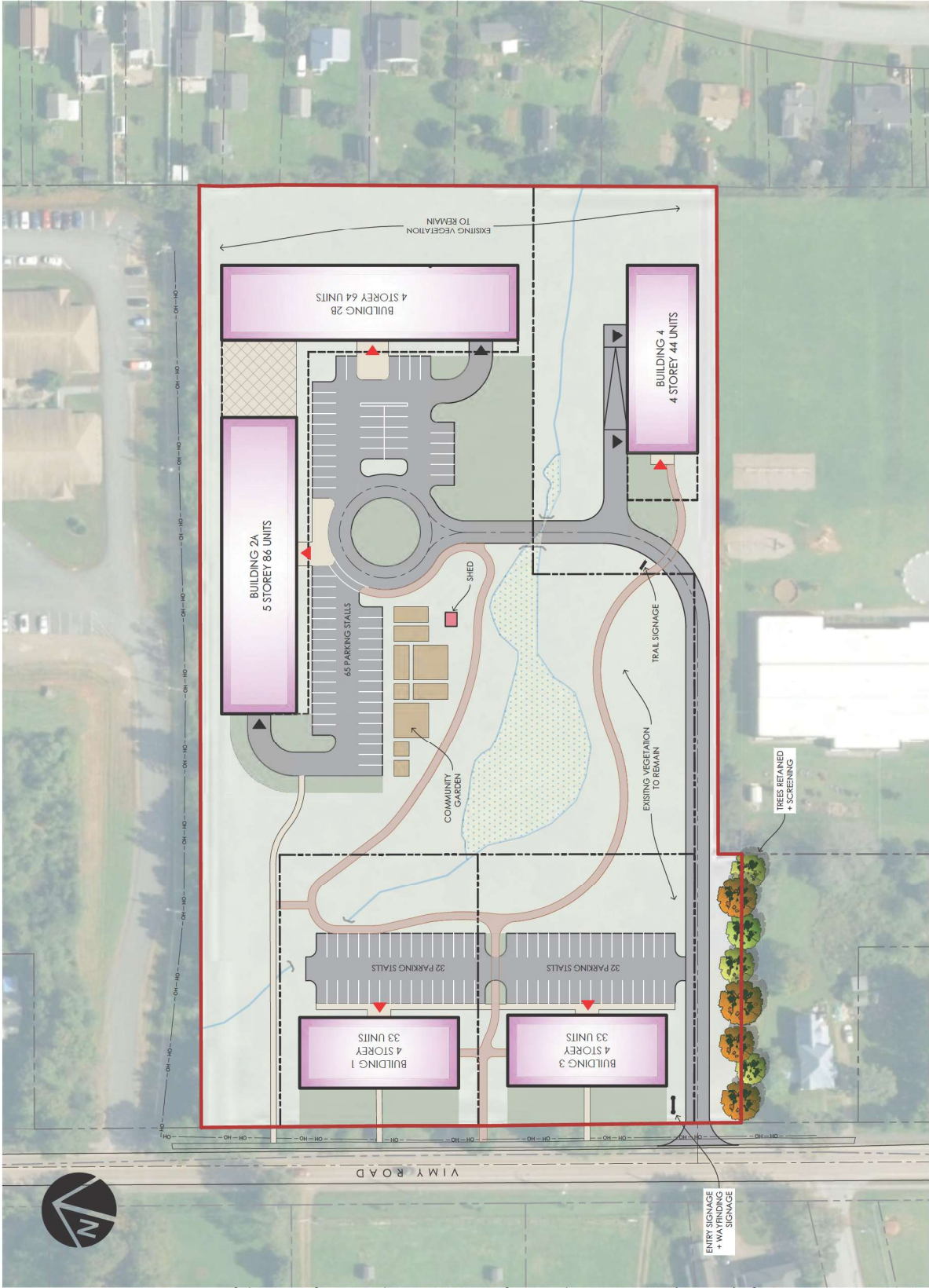


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SEPTEMBER 10, 2026

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SCHEDULE B(ii)

24-068 VIMY ROAD DEVELOPMENT, BIBLE HILL, NS | LANDSCAPING PLAN



LEGEND

- SITE BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- WETLAND (HIVE ENGINEERING)
- NEW RESIDENTIAL ENTRANCE
- U/G PARKING ENTRANCE
- WALKING TRAIL
- SOFT LANDSCAPING
- HARD LANDSCAPING
- POTENTIAL COMMUNITY GARDEN

SITE STATISTICS:

- PID: 20068540
- PID: 20287702
- PID: 20479226
- PID: 20477196
- TOTAL LAND AREA: 33.399 sm / 8.25 ACRES
- EXISTING ZONE: R-4

LANDSCAPING FEATURES:

- TRAIL LENGTH: 425 M
- COMMUNITY GARDEN: 350 SM
- HARD LANDSCAPING: 390 SM
- SOFT LANDSCAPING: 2590 SM

NOTES:

- SUBJECT TO SURVEY, PROPERTY LINES AND CAD FILE. FOR INFORMATIONAL PURPOSES ONLY.
- SITE SUBJECT TO BY-LAW REVIEW AND REGULATIONS.

PRELIMINARY

SOURCES:

- BASED ON ABLE ENG. CAD FILE: 24040479 - Vimy Road (Okos) - Field.dwg
- WETLAND DELINEATION FROM HIVE ENGINEERING (Okos) - 24040479 - Field.dwg
- ADJACENT PROPERTY LINES AND TOPOGRAPHIC FEATURES ARE FROM PROVINCIAL MAPPING.

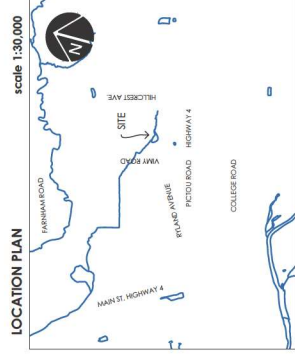


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SCHEDULE B(iii)

24-068 VIMY ROAD DEVELOPMENT, BIBLE HILL, NS | PRELIMINARY SUBDIVISION PLAN



- LEGEND**
- SITE BOUNDARY
 - ADJACENT PROPERTY BOUNDARY
 - INTERNAL PROPERTY REMOVED
 - PROPOSED PROPERTY BOUNDARY
 - WETLAND (HIVE ENGINEERING)
- SITE STATISTICS:**
- PID: 20068340, OWNER: 4596413 NOVA SCOTIA LTD.
 - PID: 20287702, OWNER: 4596413 NOVA SCOTIA LTD.
 - PID: 20479226, OWNER: 4596413 NOVA SCOTIA LTD.
 - PID: 20477196, OWNER: 4596413 NOVA SCOTIA LTD.
 - TOTAL LAND AREA: 33.399 sm / 8.25 ACRES
 - EXISTING ZONE R-4

- NOTES:**
- SUBJECT TO SURVEY, PROPERTY LINES AND ADJACENT PROPERTY LINES ARE APPROXIMATE ONLY.
 - SITE SUBJECT TO BY-LAW REVIEW AND REGULATIONS.

PRELIMINARY

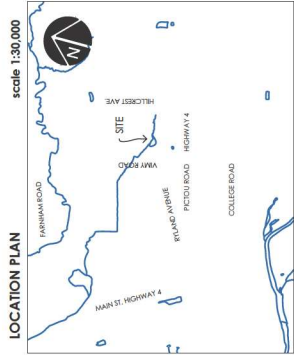
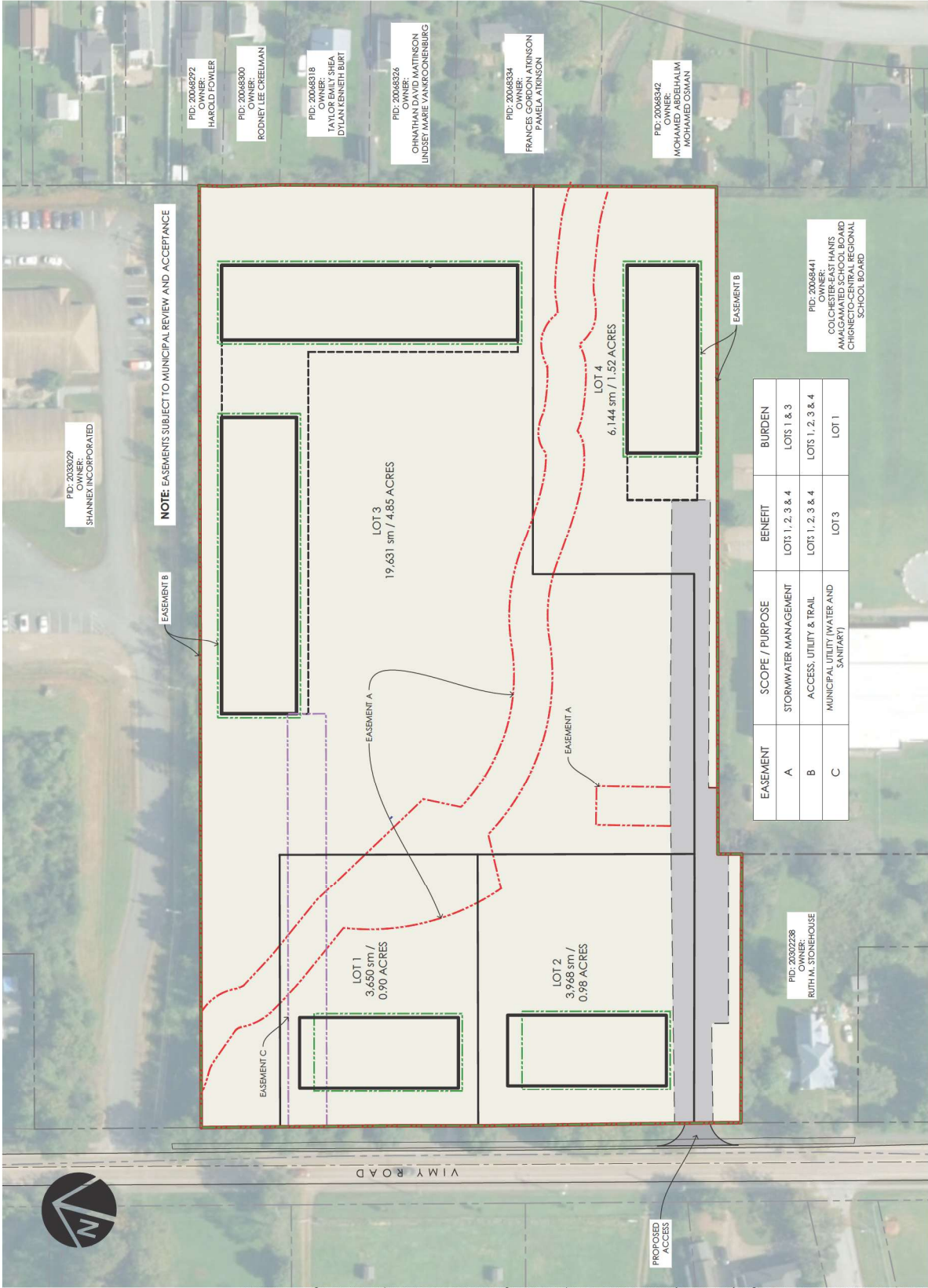
- SOURCES:**
- BASED ON ABLE ENG. CAD FILE: 24040479 - Vimy Road (Okos) - Field.dwg
 - WETLAND DELINEATION FROM HIVE ENGINEERING
 - WETLAND DELINEATION FROM HIVE ENGINEERING
 - ADJACENT PROPERTY LINES AND TOPOGRAPHIC FEATURES ARE FROM PROVINCIAL MAPPING.



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SEPTEMBER 10, 2026

SCHEDULE B(iv)

24-068 VIMY ROAD DEVELOPMENT, BIBLE HILL, NS | PRELIMINARY EASEMENT PLAN



FILE: C:\Users\Ken\OneDrive\Projects\24-068 Kaituzos Vimy Rd\4-Planning\1-DWG\20240910_24068_VimyRd_Site_Plan.dwg SHEET: Easements

- LEGEND**
- SITE BOUNDARY
 - ADJACENT PROPERTY BOUNDARY
 - PROPOSED PROPERTY BOUNDARY
 - 10m WIDE O.C. STORM EASEMENT A
 - ACCESS, UTILITY AND TRAIL PRELIMINARY EASEMENTS B
 - 10m WIDE O.C. MUNICIPAL SERVICE EASEMENT C
- SITE STATISTICS:**
- PID: 20048540, OWNER: 4596413 NOVA SCOTIA LTD.
 - PID: 20287702, OWNER: 4596413 NOVA SCOTIA LTD.
 - PID: 20479226, OWNER: 4596413 NOVA SCOTIA LTD.
 - PID: 20471194, OWNER: 4596413 NOVA SCOTIA LTD.
 - TOTAL LAND AREA: 33,399 sqm / 8.25 ACRES
 - EXISTING ZONE: R-4
- NOTES:**
- SUBJECT TO SURVEY, PROPERTY LINES AND TOPOGRAPHIC FEATURES ARE APPROXIMATE ONLY.
 - SITE SUBJECT TO BY-LAW REVIEW AND REGULATIONS.

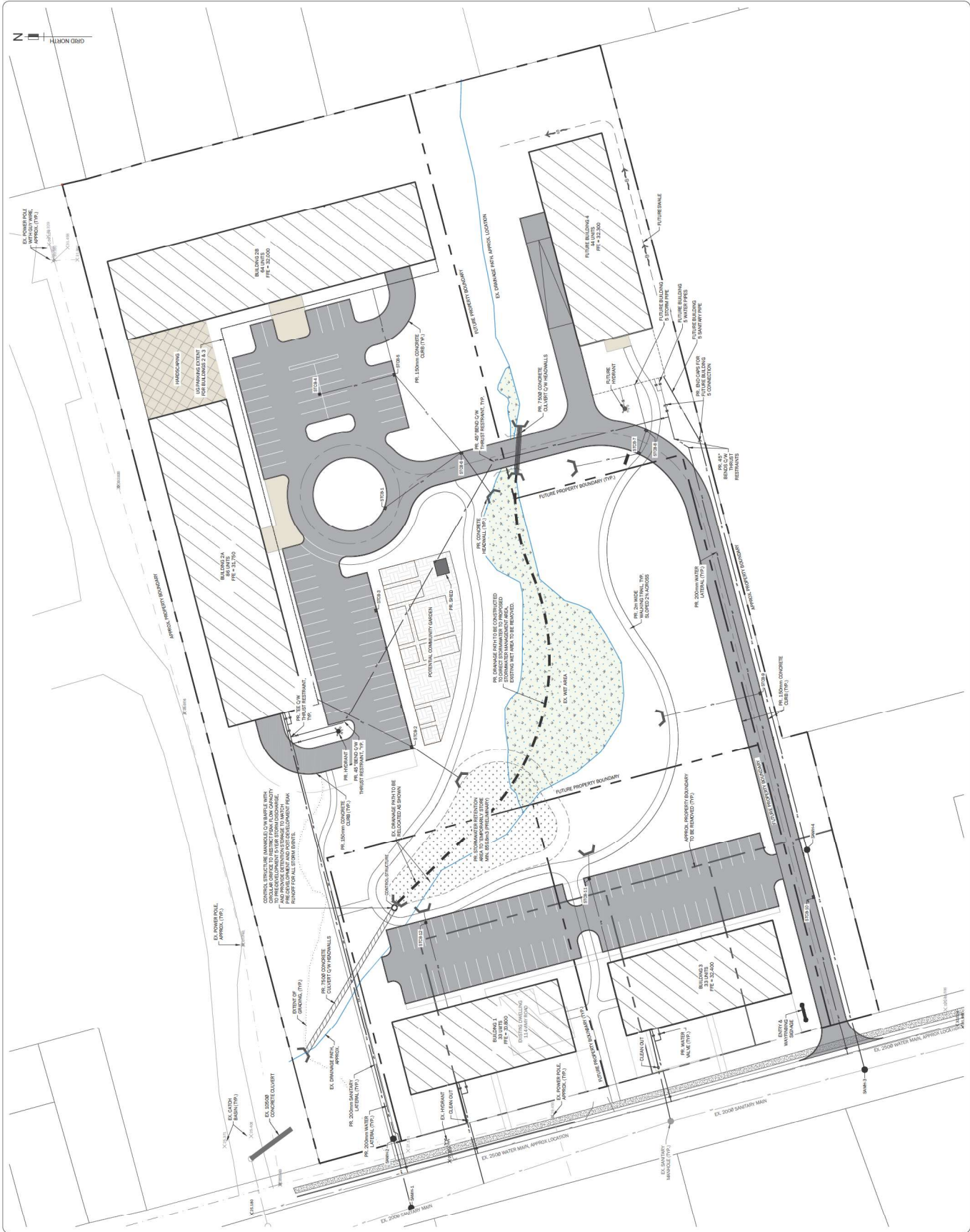
PRELIMINARY

- SOURCES:**
- EASEMENTS FROM ABLE ENGINEERING PRELIMINARY SITE SERVICE PLAN AND EASEMENTS DWG C100g, DATED 08/20/2025
 - BASED ON ABLE ENG. CAD FILE: 240404-79 - Vimy Road (Oikos) - Field.dwg
 - WETLAND DELINEATION FROM HIVE ENGINEERING DELINEATION.DWG
 - ADJACENT PROPERTY LINES AND TOPOGRAPHIC FEATURES ARE FROM PROVINCIAL MAPPING.



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SEPTEMBER 10, 2026

SCHEDULE C - ENGINEERING DRAWINGS



NOTES:

1. ALL DIMENSIONS SHOWN ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. TOPOGRAPHIC SURVEY DATA SHOWN HAS BEEN PROVIDED BY ABLE ENGINEERING SERVICES ON 09/29/2024. VALUES SHOWN ARE BASED ON THE SURVEY DATA PROVIDED BY ABLE ENGINEERING SERVICES.
3. THE SURVEY DATA IS BASED ON THE SURVEY DATA PROVIDED BY ABLE ENGINEERING SERVICES. THE SURVEY DATA IS BASED ON THE SURVEY DATA PROVIDED BY ABLE ENGINEERING SERVICES.
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BUILDING 1 SANITARY DEMAND - 33 UNITS
60% SANITARY CAPACITY OF 200mm PVC PIPE AT 3% SLOPE = 0.0224 m³/s (Q)
AREA = 1.1 ha
POPULATION = 74.25
Q = 0.00152 m³/s

BUILDING 2A & 3B SANITARY DEMAND - 150 UNITS
60% SANITARY CAPACITY OF 200mm PVC PIPE AT 3% SLOPE = 0.0224 m³/s (Q)
AREA = 1.1 ha
POPULATION = 74.25
Q = 0.00152 m³/s

BUILDING 3 SANITARY DEMAND - 33 UNITS
60% SANITARY CAPACITY OF 200mm PVC PIPE AT 3% SLOPE = 0.0224 m³/s (Q)
AREA = 1.1 ha
POPULATION = 74.25
Q = 0.00152 m³/s

BUILDING 4 SANITARY DEMAND - 44 UNITS
60% SANITARY CAPACITY OF 200mm PVC PIPE AT 3% SLOPE = 0.0224 m³/s (Q)
AREA = 1.1 ha
POPULATION = 99
Q = 0.00224 m³/s

ITEM	REVISION	DATE	BY	APP'D
1	ISSUED FOR DEVELOPMENT ASSESSMENT			
2	ISSUED FOR DEVELOPMENT ASSESSMENT			
3	ISSUED FOR DEVELOPMENT ASSESSMENT			
4	ISSUED FOR DEVELOPMENT ASSESSMENT			
5	ISSUED FOR DEVELOPMENT ASSESSMENT			
6	ISSUED FOR DEVELOPMENT ASSESSMENT			
7	ISSUED FOR DEVELOPMENT ASSESSMENT			
8	ISSUED FOR DEVELOPMENT ASSESSMENT			
9	ISSUED FOR DEVELOPMENT ASSESSMENT			
10	ISSUED FOR DEVELOPMENT ASSESSMENT			
11	ISSUED FOR DEVELOPMENT ASSESSMENT			
12	ISSUED FOR DEVELOPMENT ASSESSMENT			
13	ISSUED FOR DEVELOPMENT ASSESSMENT			
14	ISSUED FOR DEVELOPMENT ASSESSMENT			
15	ISSUED FOR DEVELOPMENT ASSESSMENT			
16	ISSUED FOR DEVELOPMENT ASSESSMENT			
17	ISSUED FOR DEVELOPMENT ASSESSMENT			
18	ISSUED FOR DEVELOPMENT ASSESSMENT			
19	ISSUED FOR DEVELOPMENT ASSESSMENT			
20	ISSUED FOR DEVELOPMENT ASSESSMENT			

ABLE
ENGINEERING | LAND SURVEYING

SCALE: 1:400

VIMY ROAD DEVELOPMENT
100 VIMY ROAD, SUITE 100
P.O. BOX 2047718, 2088540, 2047720

PRELIMINARY SITE SERVICE PLAN

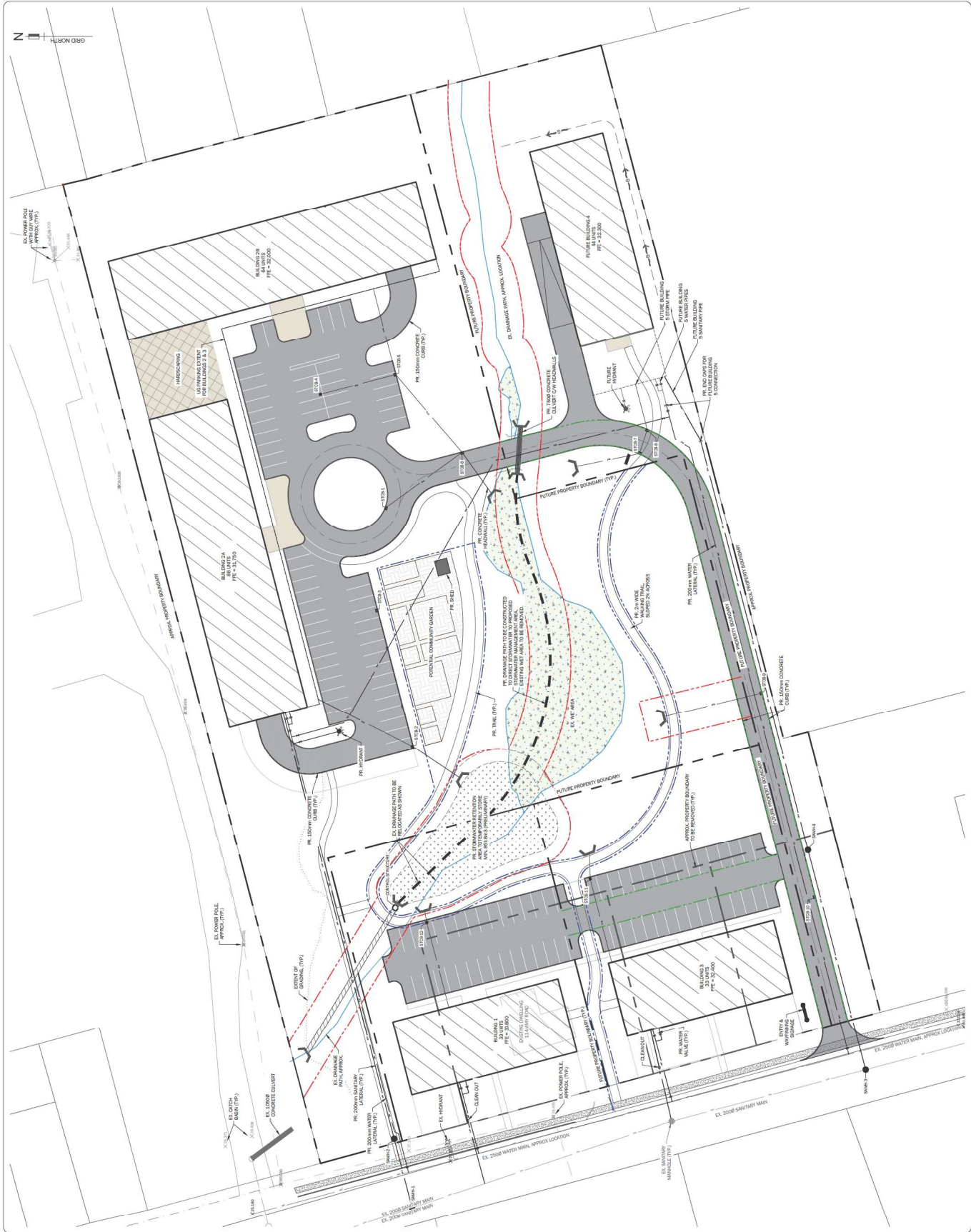
Project No.	Drawn	Checked	Sheet
24425-00	E. RYAN	M. MASTRANT	1 of 5

Date: 2024-05-27

Check: J. MASTRANT

C-100

SCHEDULE C - ENGINEERING DRAWINGS



NOTES:

1. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
2. TOPOGRAPHIC SURVEY DATA SHOWN HAS BEEN PRODUCED BY ABLE ENGINEERING LTD. (ABLE) AND IS BASED ON THE 2011 CANADIAN COORDINATE SYSTEM (NAD83) 2011 DATUM. OBSERVATIONS ON NOVA SCOTIA GRID ARE APPROXIMATE. DERIVED FROM PROPERTY ONLINE MAPPING PLAN ARE APPROXIMATE. DERIVED FROM PROPERTY ONLINE MAPPING PLAN ARE APPROXIMATE. DERIVED FROM PROPERTY ONLINE MAPPING PLAN ARE APPROXIMATE.
3. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
4. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
5. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
6. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.

EXISTING LEGEND

30m WIDE 6.0m DEGREE	---
6.0m WIDE 6.0m DEGREE	---
30m TAIL DEGREE	---

4	05/05/2025	REVISED - ISSUED FOR DEVELOPMENT ASSESSMENT	EP
3	05/05/2025	REVISED - ISSUED FOR DEVELOPMENT ASSESSMENT	EP
2	05/05/2025	REVISED - ISSUED FOR DEVELOPMENT ASSESSMENT	EP
1	05/05/2025	REVISED - ISSUED FOR DEVELOPMENT ASSESSMENT	EP
0	05/05/2025	REVISED - ISSUED FOR DEVELOPMENT ASSESSMENT	EP

ABLE
ENGINEERING | LAND SURVEYING

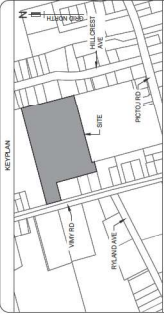
Professional Engineer
C. 2011 (11/11/11)
2011 (11/11/11)
2011 (11/11/11)

VIMY ROAD DEVELOPMENT
100 VIMY ROAD, BELLVILLE, ONTARIO
P.O. BOX 2047718, 2088540, 20477225

PRELIMINARY SITE SERVICE PLAN
EASEMENTS SHOWN

Project No.: 24425-00
Sheet: 2 of 5
Date: 2024-05-27
Check: J. M. C. L. D. O.

Scale: 1:400



- [illegible]

PROPOSED ELEVATION	XX.XXX
EXISTING ELEVATION	> XX.XXX

ABLE
ENGINEERING | LAND SURVEYING

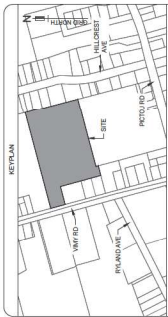
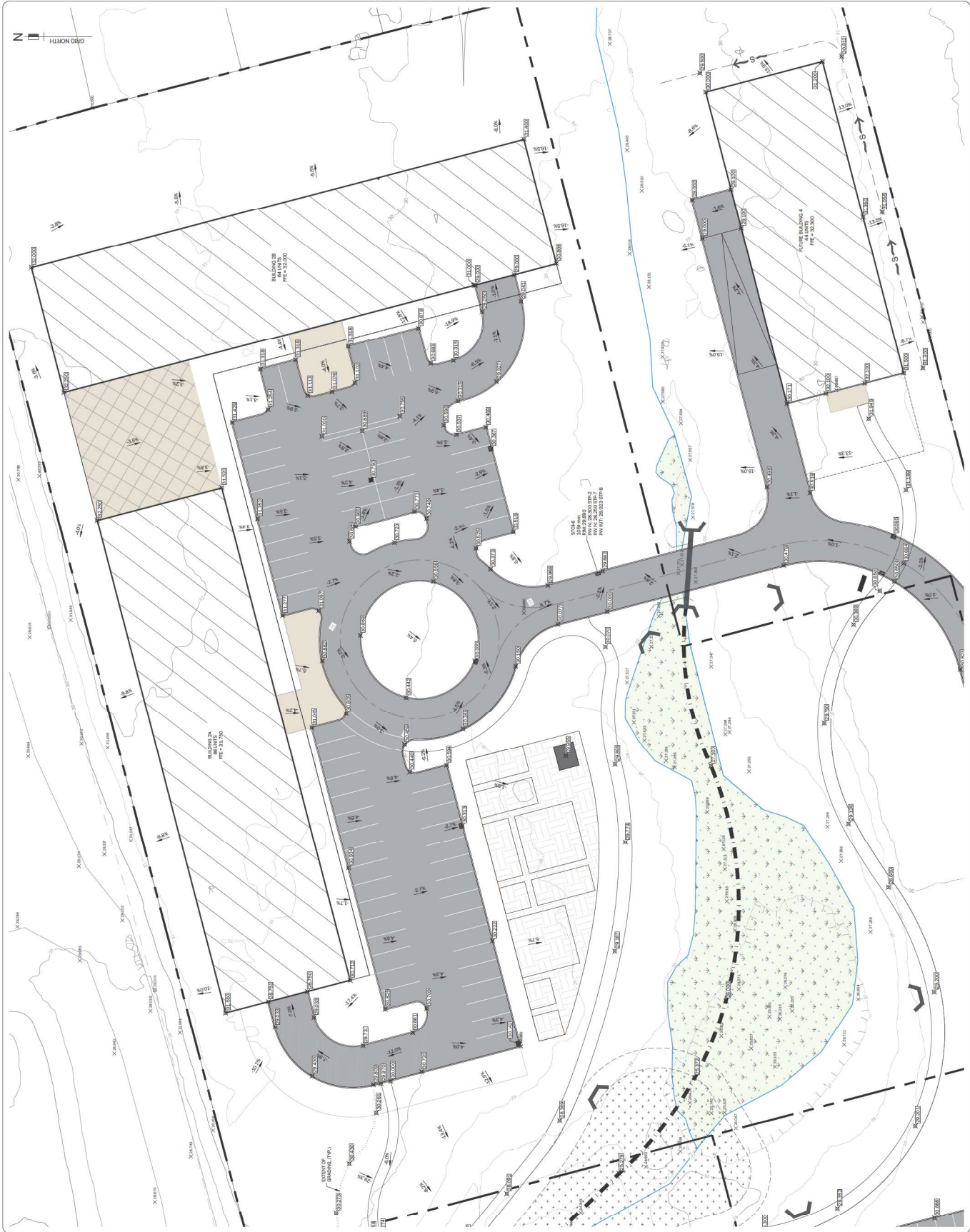


1250	Vertical	Post	ARCH D (4x6x8")
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PRELIMINARY GRADING PLAN - BUILDING 1 & 3

Project No. 264-22-90	Drawn	Sheet 3 of 5
Ref	Engineer M-VALENTIN	Plan No. C101
Date 2024-05-27	Check J-MAGLEOOD	

SCHEDULE C - ENGINEERING DRAWINGS



- NOTES:
1. TOPOGRAPHIC SURVEY DATA SHOWN HAS BEEN PRODUCED BY ABLE ENGINEERING ON 04/01/2022.
 2. ALL BUILDING FOOTPRINTS SHOWN ARE APPROXIMATE, DERIVED FROM PROPERTY ONLINE MAPS AND FIELD RECONNAISSANCE BY THE ENGINEER. THE EXACT LOCATIONS OF BUILDINGS SHALL BE DETERMINED BY A LEGAL FIELD SURVEY BY A LICENSED NLS, AND A LEGAL SURVEY SHALL BE REQUIRED TO DETERMINE THE EXACT LOCATIONS OF BUILDINGS AND BOUNDARIES TO DIFFER FROM WHAT IS SHOWN HEREIN.
 3. LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE A MINIMUM SLOPE OF 3.0% AWAY FROM THE DWELLINGS. A MINIMUM SLOPE OF 3.0% AWAY FROM THE DWELLINGS IS REQUIRED FOR THE FIRST 1.5 METERS. ALL OTHER AREAS SHALL BE SLOPED AT A MINIMUM OF 2.0% AND A MAXIMUM OF 3.1% EXCEPT FOR GARAGE ENTRANCES.
 4. ALL GARAGE ENTRANCES SHALL BE SLOPED AT A MINIMUM OF 3.1% EXCEPT FOR GARAGE ENTRANCES.
 5. TO ENSURE PROPER DRAINAGE, THE BUILDING SHALL BE SLOPED AT A MINIMUM OF 2.0% EXCEPT FOR GARAGE ENTRANCES.
 6. EXISTING CONTOURS ARE BASED ON TOPOGRAPHICAL SURVEY DATA.
 7. ALL DISTURBED AREAS TO BE PERMANENTLY STABILIZED AND REVEGETATED WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION.
 8. IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED, THE ENGINEER SHALL BE ADVISED IMMEDIATELY. ADVISE THE DESIGNER IMMEDIATELY.
 9. ALL WORK TO BE IN ACCORDANCE WITH LOCAL SPECIFICATIONS.
 10. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
 11. RETAINING WALLS GREATER THAN 3m ARE TO BE DESIGNED BY OTHERS.

PROPOSED ELEVATION
X.XXXXX
EXISTING ELEVATION
X.XXXXX

0	04/01/2022	REVISED - ISSUED FOR DEVELOPMENT AGREEMENT	EP
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2	04/01/2022	REVISED	EP
3	04/01/2022	REVISED	EP
4	04/01/2022	REVISED	EP
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100	04/01/2022	REVISED	EP

ABLE
ENGINEERING LAND SURVEYING



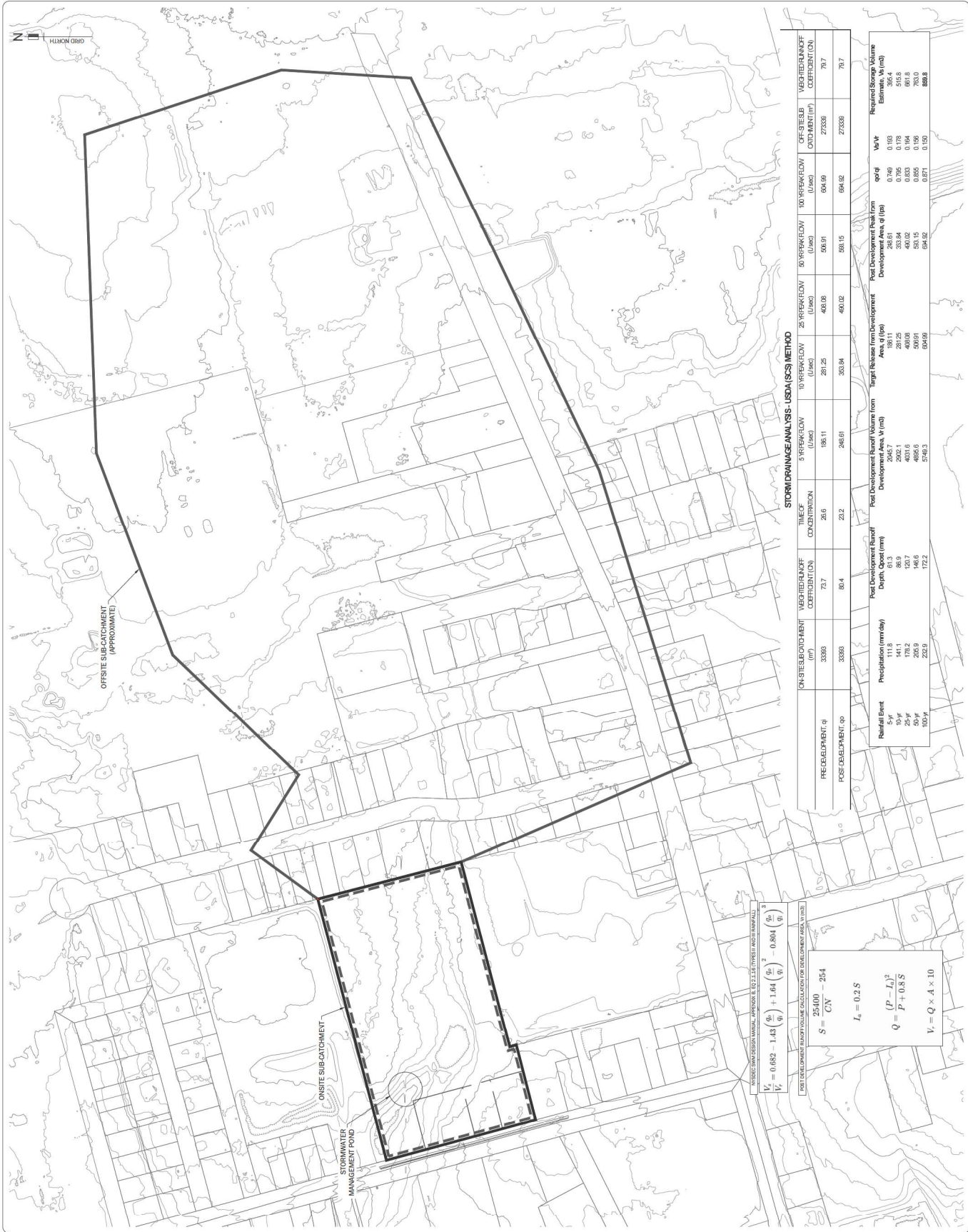
SCALE 1:250
0m 5m 10m 15m 20m 25m 30m 35m 40m 45m 50m 55m 60m 65m 70m 75m 80m 85m 90m 95m 100m

VIMY ROAD DEVELOPMENT
100 VIMY ROAD, UNIT 100
P.O. BOX 2047718, 2047718

PRELIMINARY GRADING PLAN - BUILDINGS 2 & 4

Project No.	2047718	Drawn	E. FRY	Sheet	4 of 5
Ref.		Engineer	M. ASHTON	Per No.	
Date	2024-05-27	Check	J. MCELROY		C-102

SCHEDULE C - ENGINEERING DRAWINGS



THE STORMWATER RUNOFF FOR THE 1.5, 1.0, 0.5, 0.2, 0.1, AND 0.05 YEAR STORM EVENTS WAS ESTIMATED USING STORM A SURVEY ANALYSIS (2000) USING A PROPORTIONAL RAINFALL RATE.

THE STORMWATER RUNOFF WAS BASED ON THE SOIL CONSERVATION SERVICE (SCS) TYPE II CURVE NUMBER (CN) OF 75, WHICH WAS DETERMINED BY THE SCS ATLAS (1983) BASED ON THE SOIL TYPE AND LAND COVER. THE RUNOFF COEFFICIENT WAS SET AT 0.75 FOR THE 1.5 YEAR STORM EVENT AND 0.70 FOR THE 0.05 YEAR STORM EVENT. THE RUNOFF COEFFICIENT WAS SET AT 0.75 FOR THE 1.5 YEAR STORM EVENT AND 0.70 FOR THE 0.05 YEAR STORM EVENT.

THE STORMWATER RUNOFF WAS BASED ON THE SOIL CONSERVATION SERVICE (SCS) TYPE II CURVE NUMBER (CN) OF 75, WHICH WAS DETERMINED BY THE SCS ATLAS (1983) BASED ON THE SOIL TYPE AND LAND COVER. THE RUNOFF COEFFICIENT WAS SET AT 0.75 FOR THE 1.5 YEAR STORM EVENT AND 0.70 FOR THE 0.05 YEAR STORM EVENT.

POST DEVELOPMENT DRAINAGE FROM THIS SITE WILL BE DIRECTED TO THE STORMWATER MANAGEMENT POND. THE POND WILL BE DESIGNED TO STORE THE RUNOFF FROM THE 1.5 YEAR STORM EVENT AND TO PROVIDE A 24-HOUR DETENTION TIME. THE POND WILL BE DESIGNED TO STORE THE RUNOFF FROM THE 1.5 YEAR STORM EVENT AND TO PROVIDE A 24-HOUR DETENTION TIME.

THE POND WILL BE DESIGNED TO STORE THE RUNOFF FROM THE 1.5 YEAR STORM EVENT AND TO PROVIDE A 24-HOUR DETENTION TIME. THE POND WILL BE DESIGNED TO STORE THE RUNOFF FROM THE 1.5 YEAR STORM EVENT AND TO PROVIDE A 24-HOUR DETENTION TIME.

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NO.	DESCRIPTION	STATUS
1	STORMWATER MANAGEMENT POND	DESIGNED
2	STORMWATER MANAGEMENT POND	DESIGNED
3	STORMWATER MANAGEMENT POND	DESIGNED
4	STORMWATER MANAGEMENT POND	DESIGNED
5	STORMWATER MANAGEMENT POND	DESIGNED
6	STORMWATER MANAGEMENT POND	DESIGNED
7	STORMWATER MANAGEMENT POND	DESIGNED
8	STORMWATER MANAGEMENT POND	DESIGNED
9	STORMWATER MANAGEMENT POND	DESIGNED
10	STORMWATER MANAGEMENT POND	DESIGNED



SCALE: 1"=500'

DATE: 10/10/2020

PROJECT: VIMY ROAD DEVELOPMENT

CLIENT: VIMY ROAD DEVELOPMENT

PROJECT NO: 20077181, 2008540, 20079226

NO.	DESCRIPTION	STATUS
1	STORMWATER MANAGEMENT POND	DESIGNED
2	STORMWATER MANAGEMENT POND	DESIGNED
3	STORMWATER MANAGEMENT POND	DESIGNED
4	STORMWATER MANAGEMENT POND	DESIGNED
5	STORMWATER MANAGEMENT POND	DESIGNED
6	STORMWATER MANAGEMENT POND	DESIGNED
7	STORMWATER MANAGEMENT POND	DESIGNED
8	STORMWATER MANAGEMENT POND	DESIGNED
9	STORMWATER MANAGEMENT POND	DESIGNED
10	STORMWATER MANAGEMENT POND	DESIGNED

ON-STEEL SUBCATCHMENT	VEGETATION	COEFFICIENT (C)	10 YEAR FLOW (CFS)	25 YEAR FLOW (CFS)	50 YEAR FLOW (CFS)	100 YEAR FLOW (CFS)	ON-STEEL SUBCATCHMENT	VEGETATION	COEFFICIENT (C)
33000	73.7	26.6	185.11	400.08	508.91	604.02	273308	73.7	73.7

POST DEVELOPMENT BASIN	PRECIPITATION (mm/day)	DEPTH (mm)	AREA (sq ft)	POST DEVELOPMENT BASIN	PRECIPITATION (mm/day)	DEPTH (mm)	AREA (sq ft)
111.8	81.3	2065.7	181.11	111.8	81.3	2065.7	181.11
173.2	120.7	4037.5	409.08	173.2	120.7	4037.5	409.08
205.9	146.6	4956.5	536.91	205.9	146.6	4956.5	536.91
232.9	172.2	5746.3	604.02	232.9	172.2	5746.3	604.02

RAINFALL EVENT	5-YR	25-YR	50-YR	100-YR
111.8	181.11	409.08	536.91	604.02
173.2	4037.5	4090.8	5369.1	6040.2
205.9	4956.5	4956.5	5369.1	6040.2
232.9	5746.3	5746.3	6040.2	6040.2

$$V_p = 0.682 - 1.43 \left(\frac{Q_p}{Q_s} \right)^2 + 1.04 \left(\frac{Q_p}{Q_s} \right)^3 - 0.804 \left(\frac{Q_p}{Q_s} \right)^4$$

$$S = \frac{25400}{CN}$$

$$I_a = 0.2 S$$

$$Q = \frac{(P - I_a)^2}{P + 0.8 S}$$

$$V_r = Q \times A \times 10$$

SCHEDULE D - FLOOR PLANS
AND RENDERINGS

VIMY ROAD
DEVELOPMENT
FEASIBILITY

Vimy Road, Truro NS

•
August 21, 2026

JIMMY KAROUNTZOS



Table of contents

0	FRONT COVER
1	BUILDING 1 & 3 FLOOR PLAN
2	BUILDING 2A FLOOR PLANS
3	BUILDING 2A LEVELS 4 & 5
4	BUILDING 2B FLOOR PLANS
5	BUILDING 2A & 2B BASEMENT PLAN
6	BUILDING 4 FLOOR PLANS
7	RENDER

LEGEND

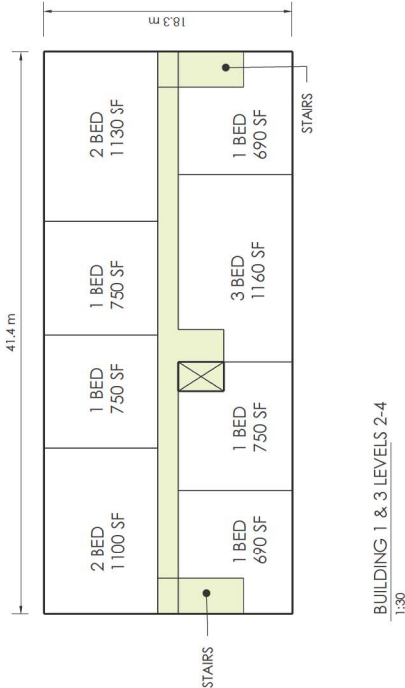
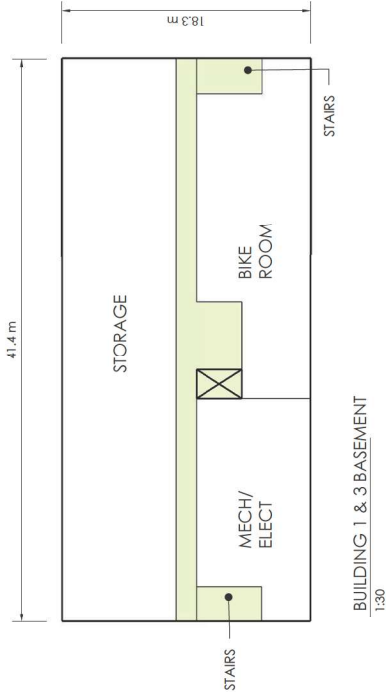
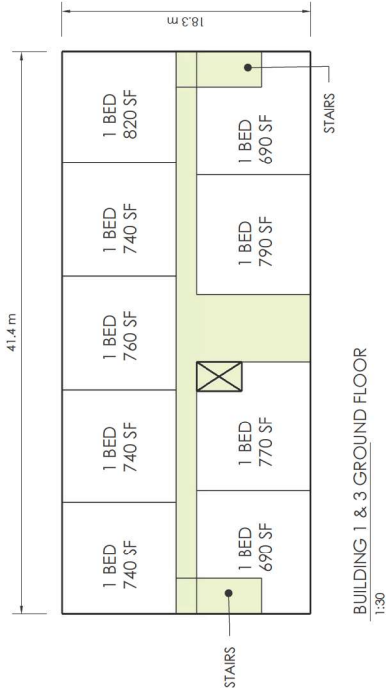
PROPERTY BOUNDARY

LOT SUBDIVISION BOUNDARY

COMMERCIAL ENTRANCE

RESIDENTIAL ENTRANCE

VEHICULAR ENTRANCE



UNIT COUNT

1-BEDS:	24	73%
2-BEDS:	6	18%
3-BEDS:	3	9%
TOTAL 33		

NOTE: PRELIMINARY UNIT COUNT ASSUMES 8-9 UNITS PER FLOOR BASED ON PRECEDENT PROJECTS OF A SIMILAR SIZE, SCALE AND OCCUPANCY. FURTHER STUDY NEEDED TO DETERMINE UNIT COUNTS, SIZES AND TYPES.

- NOTES
- Site subject to survey. Property lines and topographic features are approximate only.
 - Preliminary Unit Count assumes units per floor based on precedent projects of a similar size, scale and occupancy. Further study needed to determine unit counts, sizes and types.



LEGEND

PROPERTY BOUNDARY

LOT SUBDIVISION BOUNDARY

COMMERCIAL ENTRANCE

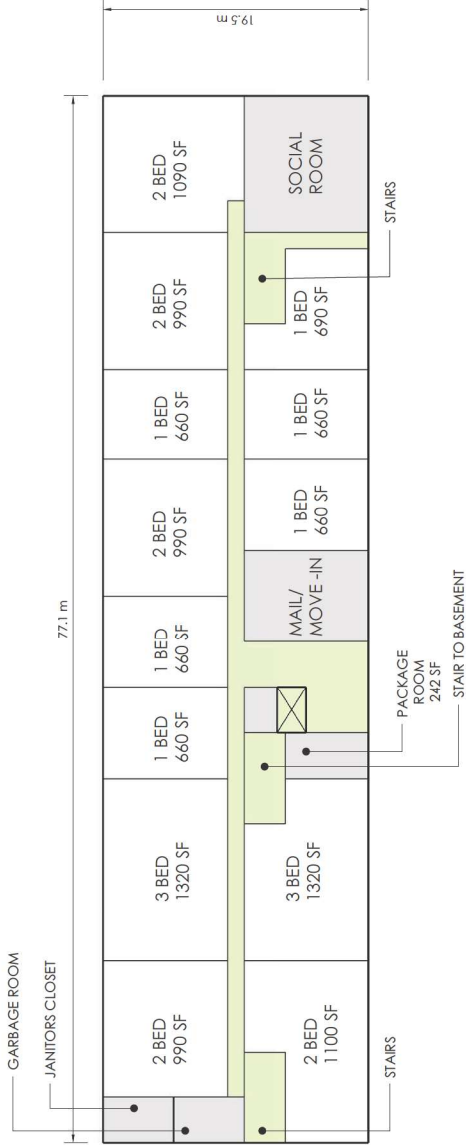
RESIDENTIAL ENTRANCE

VEHICULAR ENTRANCE

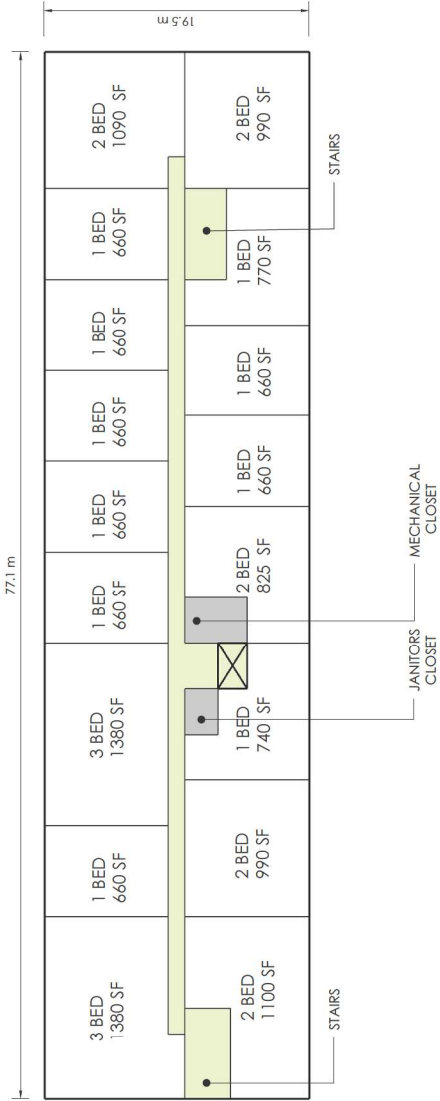
2A UNIT COUNT

1-BEDS: 57 66 %
2-BEDS: 23 27%
3-BEDS: 6 7%
TOTAL 86

NOTE: PRELIMINARY UNIT COUNT ASSUMES 13-17 UNITS PER FLOOR BASED ON PRECEDENT PROJECTS OF A SIMILAR SIZE, SCALE AND OCCUPANCY. FURTHER STUDY NEEDED TO DETERMINE UNIT COUNTS, SIZES AND TYPES.



BUILDING 2A GROUND FLOOR
1:30

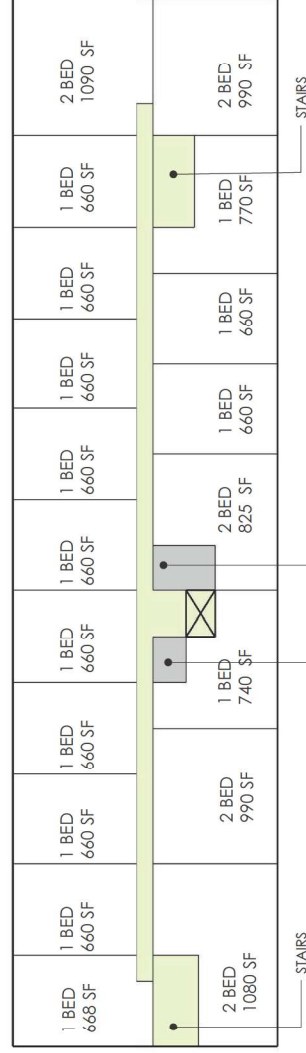
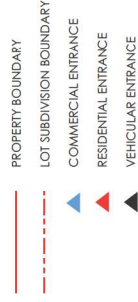


BUILDING 2A LEVELS 2 & 3
1:30

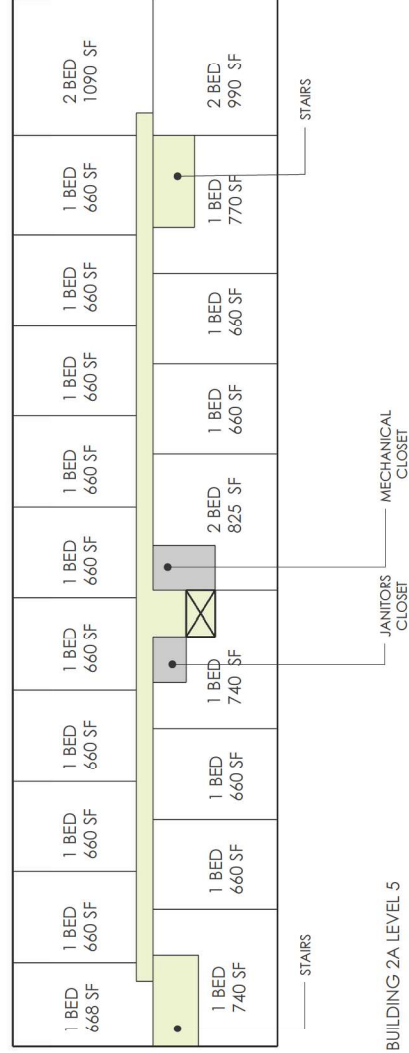
NOTES

- Site subject to survey. Property lines and topographic features are approximate only.
- Preliminary Unit Count assumes units per floor based on precedent projects of a similar size, scale and occupancy. Further study needed to determine unit counts, sizes and types.





BUILDING 2A LEVEL 4

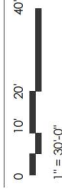
1:30

BUILDING 2A LEVEL 5

1:30

- ## NOTES

- Site subject to survey. Property lines and topographic features are approximate only.
- Preliminary Unit Count assumes units per floor based on precedent projects of a similar size, scale and occupancy. Further study needed to determine unit counts, sizes and types.



LEGEND

PROPERTY BOUNDARY

LOT SUBDIVISION BOUNDARY

COMMERCIAL ENTRANCE

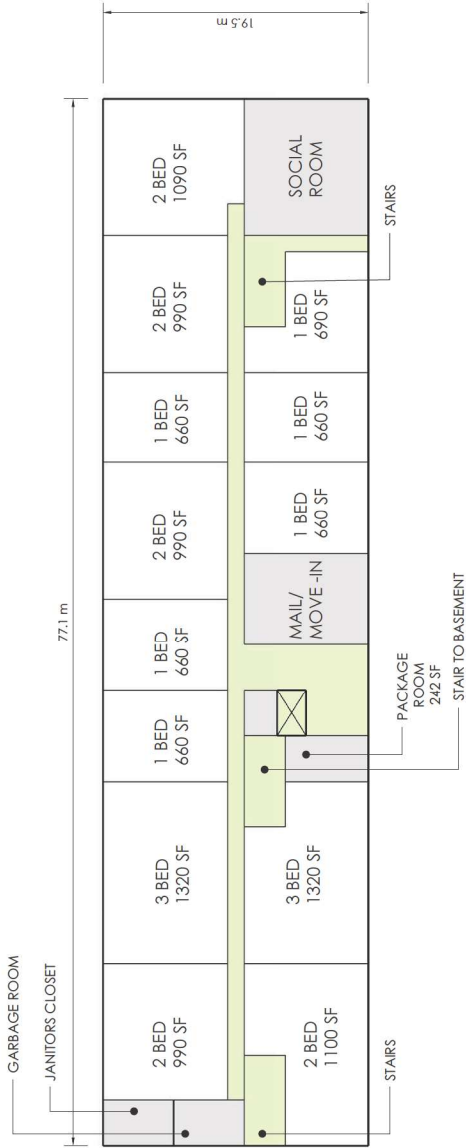
RESIDENTIAL ENTRANCE

VEHICULAR ENTRANCE

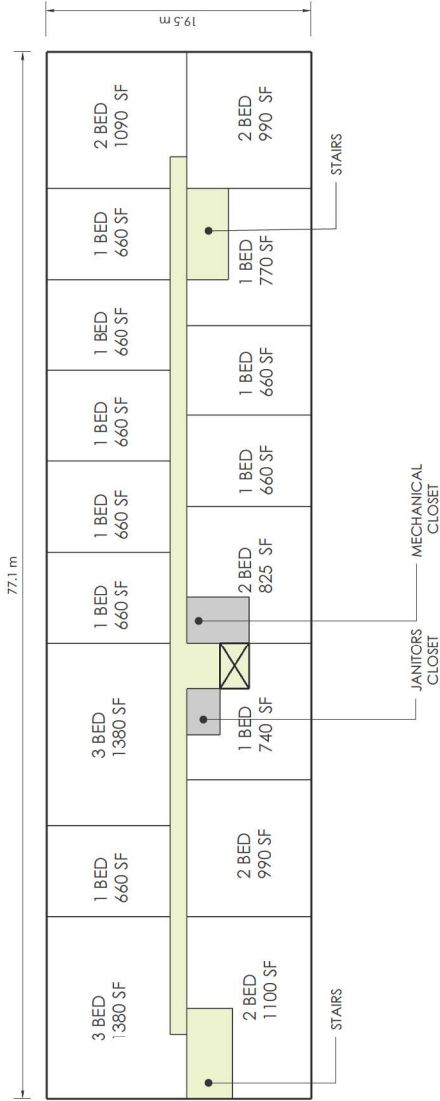
2B UNIT COUNT

1-BEDS: 36 56 %
2-BEDS: 20 31 %
3-BEDS: 8 13 %
TOTAL 64

NOTE: PRELIMINARY UNIT COUNT ASSUMES 13-17 UNITS PER FLOOR BASED ON PRECEDENT PROJECTS OF A SIMILAR SIZE, SCALE AND OCCUPANCY. FURTHER STUDY NEEDED TO DETERMINE UNIT COUNTS, SIZES AND TYPES.



BUILDING 2B GROUND FLOOR
1:30



BUILDING 2B LEVELS 2-4
1:30

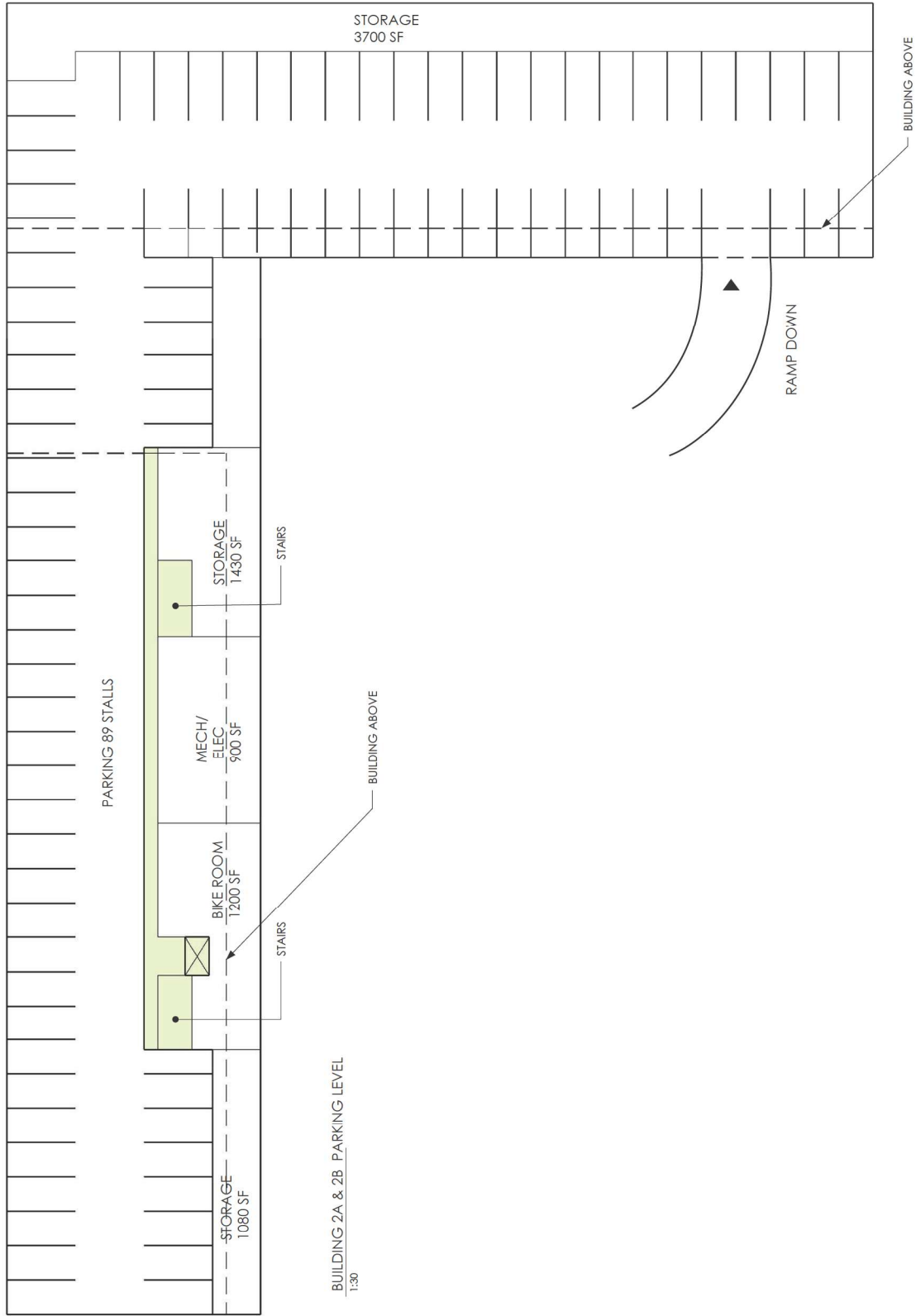
NOTES

- Site subject to survey. Property lines and topographic features are approximate only.
- Preliminary Unit Count assumes units per floor based on precedent projects of a similar size, scale and occupancy. Further study needed to determine unit counts, sizes and types.



LEGEND

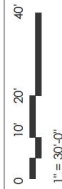
- PROPERTY BOUNDARY
- LOT SUBDIVISION BOUNDARY
- COMMERCIAL ENTRANCE
- RESIDENTIAL ENTRANCE
- VEHICULAR ENTRANCE



PARKING COUNT
P1 89 STALLS
SURFACE 65 STALLS
TOTAL 154

NOTES

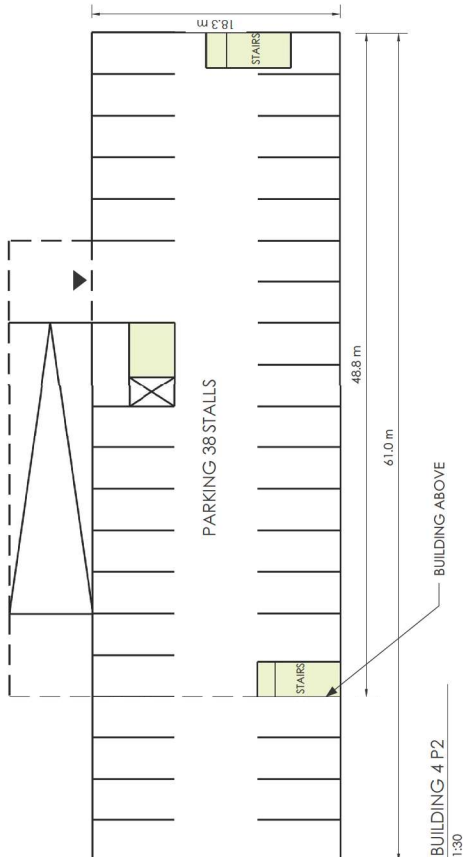
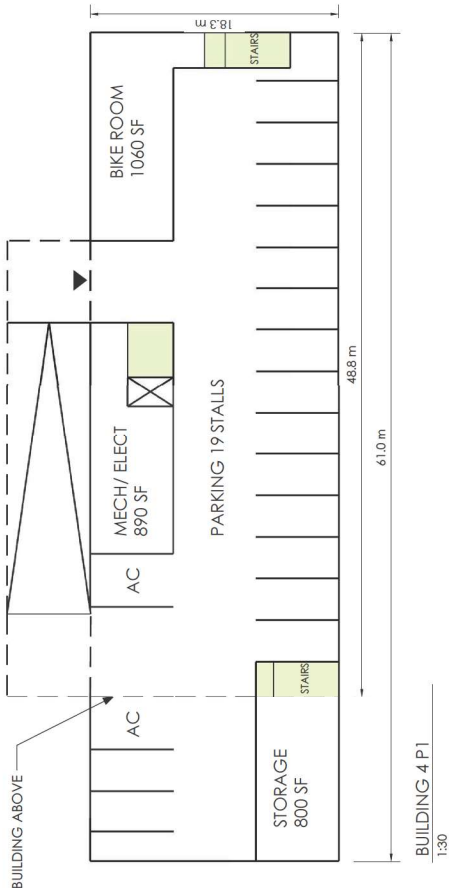
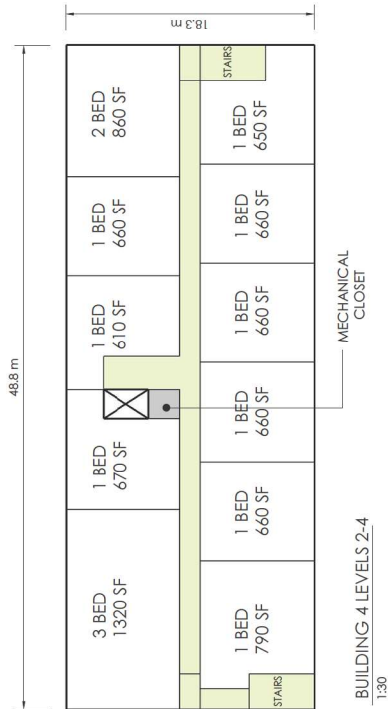
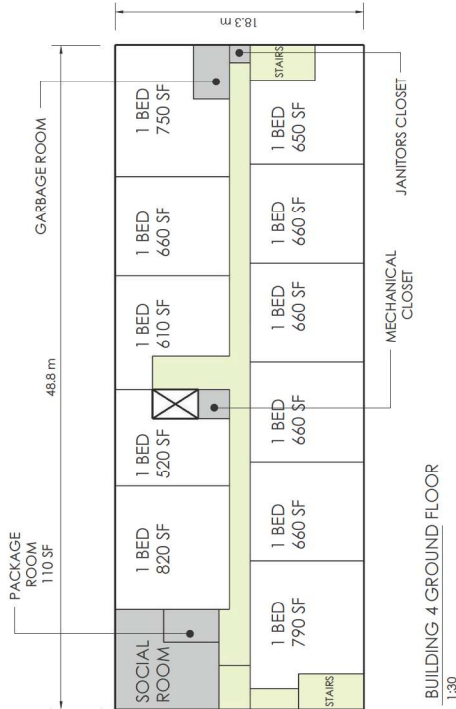
- Site subject to survey. Property lines and topographic features are approximate only.
- Preliminary Unit Count assumes units per floor based on precedent projects of a similar size, scale and occupancy. Further study needed to determine unit counts, sizes and types.



DRAFT - FOR REVIEW ONLY
August 21, 2026

LEGEND

- PROPERTY BOUNDARY
- LOT SUBDIVISION BOUNDARY
- COMMERCIAL ENTRANCE
- RESIDENTIAL ENTRANCE
- VEHICULAR ENTRANCE



UNIT COUNT

1-BEDS: 38	86%
2-BEDS: 3	7%
3-BEDS: 3	7%
TOTAL 44	

PARKING COUNT

P1 19 STALLS
P2 38 STALLS
TOTAL 57

NOTE: PRELIMINARY UNIT COUNT ASSUMES 10-11 UNITS PER FLOOR BASED ON PRECEDENT PROJECTS OF A SIMILAR SIZE, SCALE AND OCCUPANCY. FURTHER STUDY NEEDED TO DETERMINE UNIT COUNTS, SIZES AND TYPES.

NOTES

- Site subject to survey. Property lines and topographic features are approximate only.
- Preliminary Unit Count assumes unit, per floor based on precedent projects of a similar size, scale and occupancy. Further study needed to determine unit counts, sizes and types.



